

Site Address:
 951 Fern Avenue, Se
 Atlanta, GA 30315
Zoning: R-5
 Front Yard: 30'
 Side Yard: 7'
 Rear Yard: 7'

TOTAL LOT AREA
 8,206 sq. ft.
 OR
 0.188 ACRES

LEGAL DESCRIPTION #951-A

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED IN LAND LOT 55 OF THE 14th DISTRICT, CITY OF ATLANTA FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A POINT 274.96' FROM THE INTERSECTION OF THE SOUTHERLY R/W OF VANIRA ST WITH THE WESTERLY R/W OF FERN AVE; THENCE ALONG SAID R/W OF FERN AVE, S01°17'33"W A DISTANCE OF 25.04' TO A 1/2" REBAR SET; THENCE N88°39'37"W A DISTANCE OF 163.92' TO A POINT ON THE EAST SIDE OF A 10' ALLEY; THENCE N01°17'33"E A DISTANCE OF 25.33' TO A POINT; THENCE S88°33'36"E A DISTANCE OF 163.92' TO A POINT ON THE WESTERLY R/W OF FERN AVE AND THE POINT OF BEGINNING.

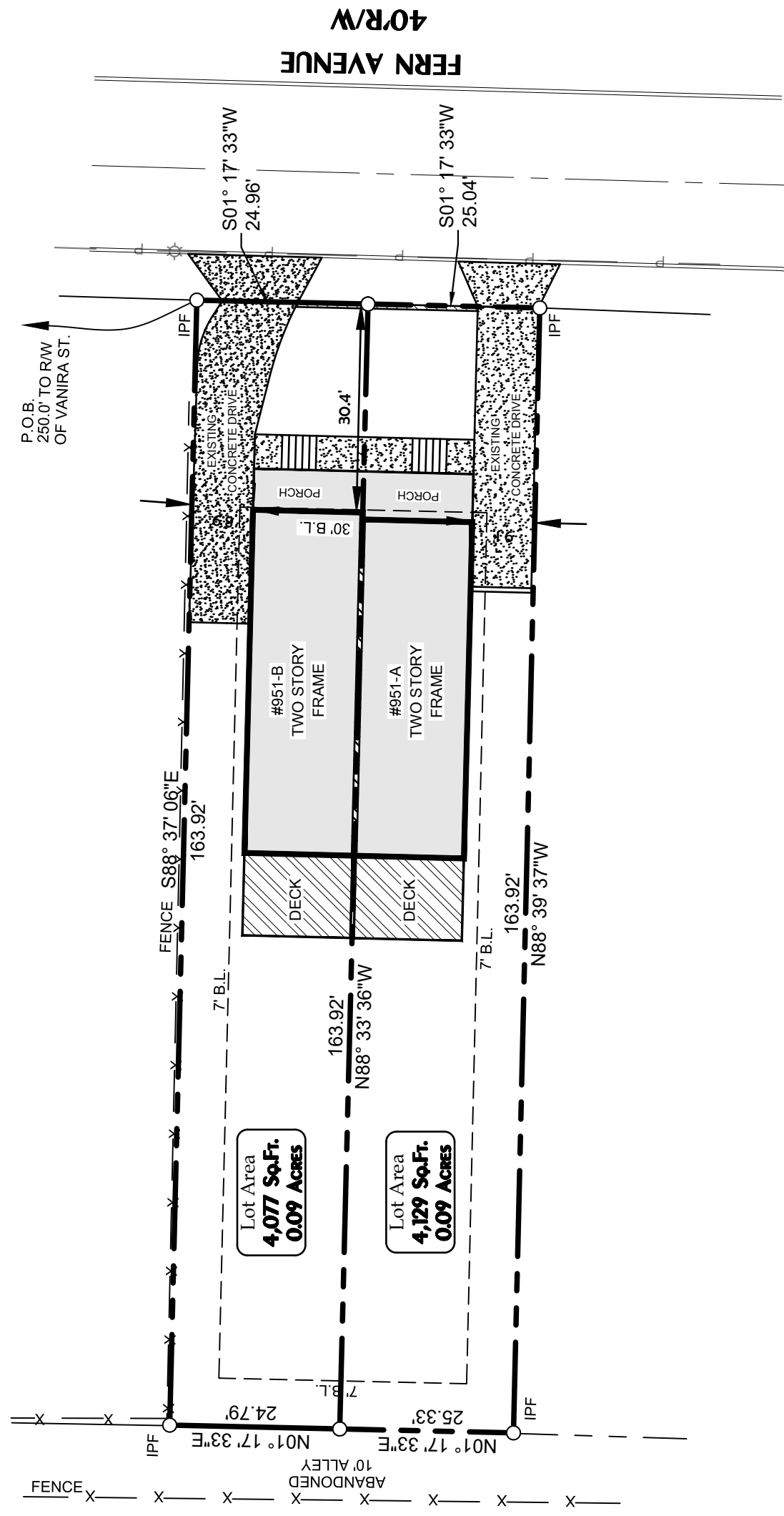
SAID TRACT OR PARCEL OF LAND CONTAINING 4,129 SQ.FT. AS SHOWN AS #951-A

LEGAL DESCRIPTION #951-B

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED IN LAND LOT 55 OF THE 14th DISTRICT, CITY OF ATLANTA FULTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A POINT 250.00' FROM THE INTERSECTION OF THE SOUTHERLY R/W OF VANIRA ST WITH THE WESTERLY R/W OF FERN AVE; THENCE CONTINUING ALONG SAID R/W OF FERN AVE S01°17'33"W A DISTANCE OF 24.96' TO A POINT; THENCE LEAVING SAID R/W OF FERN AVE, N88°33'36"W A DISTANCE OF 163.92' TO A POINT ON THE EAST SIDE OF A 10' ALLEY; THENCE N01°17'33"E A DISTANCE OF 24.79' TO A POINT; THENCE S88°37'06"E A DISTANCE OF 163.92' TO A POINT ON THE WESTERLY R/W OF FERN AVE AND THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINING 4,077 SQ.FT. AS SHOWN AS #951-B



LEGEND

IPF	IRON PIN FOUND	— x —	PROPERTY LINE
IPS	1/2" REBAR SET	— t —	FENCE
CMP	CORRUGATED METAL PIPE	— g —	TELEPHONE LINE
R/W	RIGHT OF WAY	— w —	GAS LINE
Q	CENTER LINE	— ss —	WATER LINE
R	PROPERTY LINE	— ss —	SANITARY SEWER LINE
FES	FLARED END SECTION	— otp —	POWER LINE
L.L.L.	LAND LOT LINE	CTP	OPEN TOP PIPE
T.B.M.	TEMPORARY BENCHMARK	RB	CRIMP TOP PIPE
INV.	INVERT ELEVATION	Y.I.	REBAR
INV.	SANITARY SEWER MANHOLE	D.I.	YARD INLET
g	POWER POLE	SMH	DRAIN INLET
⊗	FIRE HYDRANT	CO	CLEANOUT
⊗	LIGHT POLE	GW	WATER METER
ICV	IRRIGATION CONTROL VALVE	AC	WATER VALVE
△	TRAVERSE POINT (60D NAIL)	N/F	GUY WIRE
△	DRAINAGE MANHOLE	PT	AIR CONDITIONER
⊙	GAS VALVE	4x4	NOW OR FORMERLY
⊙	BENCHMARK	RRT	PERC. TEST (BOREHOLE)
⊙	IRON PIN FOUND		4x4 TRANSFORMER
			RAIL ROAD TIE WALL

"Flood Hazard Statement"
 By graphic plotting only. The property shown on this plat does not lie within a 100yr Flood Plain according to the flood insurance rate map (FIRM) map number 13121C0357. Last revised September 18, 2013.

SURVEYOR'S ACKNOWLEDGEMENT
 "IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION"

BY: Wesley Browne

Registered Georgia
 Surveyor's Number
 2770
 Date: May 10, 2019

SHEET

1 of 1



0 Lot Line Subdivision of:

951 FERN AVENUE

FOR: JB DEVELOPMENT PARTNERS

DATE	DESCRIPTION
WB, JL	DESIGNED BY
WB	DRAWN BY
WB	CHECKED BY
WB	BY
WB	APPROVED BY
WB	DATE
WB	SCALE
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TREE PROTECTION PLAN

TREE PROTECTION FENCES LOCATED AT EDGE OF CRITICAL ROOT ZONE. 14 FOOT HIGH ORANGE TREE PROTECTION FENCING REQUIRED TREES 35" PER ACRES 35"x0.19=6.65" REQUIRED

RECOMPENSE:
NO TREES WILL BE LOST OR DAMAGE ON THIS SITE
RECOMPENSE FEE: NONE

PROPOSED TREES (IN FRONT YARD)
2-2.5" TRIDENT MAPLE

TREES CAN BE SUBSTITUTED FOR TREES SHOWN ON THE CITY OF ATLANTA TREE PLANTING LIST

24HR CONTACT:

Chris Enmon
1527 S. Gordon ST
ATLANTA, GA 30310
(404)933.6014

*THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SANITARY SEWERS, GAS LINES, ELECTRIC LINES, ETC. AS SHOWN ON THESE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE SURVEYOR, ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES SEVENTY - TWO HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK. QUESTIONS CALL THE UTILITY PROTECTION SERVICE: (404)-491-0044.



Flood Hazard Note:

By graphic plotting only, this property Does Not lie within a 100 year flood zone as per the Flood Insurance Rate Map 13121C0357F, last revised 9/18/2013

EROSION AND SEDIMENT CONTROL NOTES:

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES."

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

"SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171- TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION, AND BE WIRE REINFORCED".

*EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.

*EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST DAILY, AND AFTER EACH RAIN, AND REPAIRED BY THE CONTRACTOR.

(ADDITIONAL) GRADING AND DRAINAGE NOTES:

*ALL MATERIAL AND METHODS OF CONSTRUCTION MUST CONFORM TO CITY OF ATLANTA STANDARDS AND SPECIFICATIONS.

*PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR. CALL (404) 330-6990 TO CONTACT THE INSPECTOR.

*NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

*ALL UNSUITABLE SOILS AND TOP SOILS WILL BE STOCKPILED ON-SITE AND SPREAD ON ALL PROPOSED SLOPES TO FACILITATE THE ESTABLISHMENT OF ALL GROUND COVER.

*ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION

*CONTRACTOR TO ANTICIPATE THAT ONE GRASSING ATTEMPT OF THE DISTURBED AREAS WILL NOT BE ADEQUATE TO PROVIDE A SUFFICIENT STAND OF GROUND COVER. MULTIPLE ATTEMPTS AT GRASSING OF DISTURBED AREA SHOULD BE ANTICIPATED FOR THIS PROJECT. GRASSING PROCEDURES WILL BE CARRIED OUT ON REGULAR AND TIMELY INTERVALS UNTIL A GOOD AND COMPLETE STAND OR GROUND COVER HAS BEEN ESTABLISHED

ADDITIONAL NOTES:

1. NO GRADED SLOPE SHALL EXCEED 2h:1v SLOPE.
2. DIRT WILL BE STOCKPILED ON SITE.

1) Separate permit is required for sidewalk and/or driveway construction in the public right of way, contact technical services at (404) 330-6249

2) Disturbed areas left idle shall be stabilized with temporary vegetation after 14 days; after 30 days permanent vegetation shall be established

3) Silt Fence - shall meet the requirements of section 171 - temporary silt fence, of the Georgia Standard Specifications, 1993 Edition and be wire reinforced

4) Maintenance Statement - Erosion control measures will be inspected at least weekly, after each rain and repaired by the general contractor.

5) Statement - Additional erosion and sediment control measures will be installed if deemed necessary by on-site inspection

6) No graded slope shall exceed 2h:1v

7) "The Escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land-disturbing activities."

8) "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."

GRADING PLAN

WATERS OF THE STATE DOES NOT EXIST WITHIN 200 FEET OF THIS SITE.

NOTE: MAINTENANCE STATEMENT

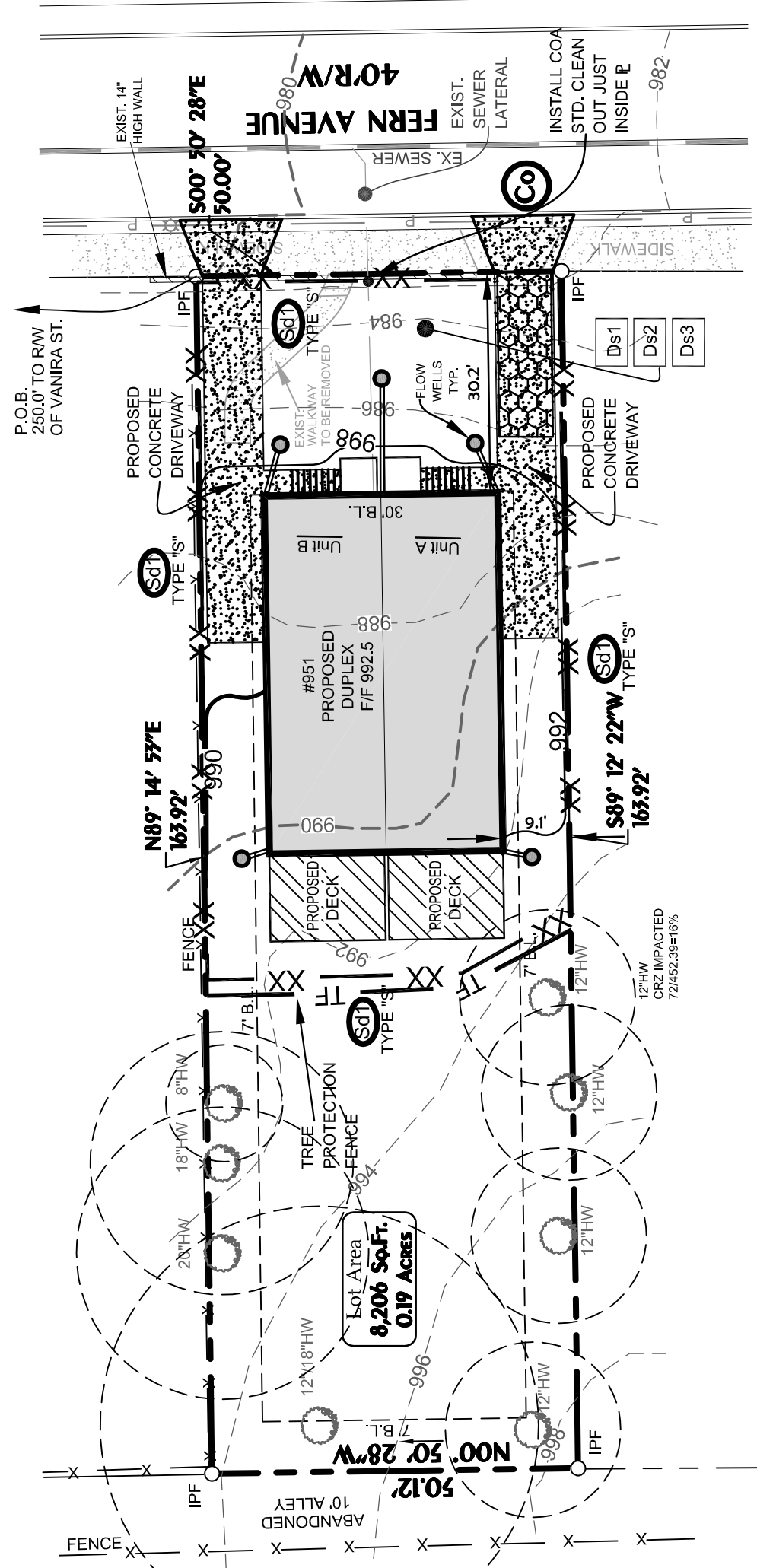
EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY THE GENERAL CONTRACTOR (A) SEDIMENTATION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.

ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES TO BE USED AS REQUIRED BY CITY OF ATLANTA.

GRASSING TO BEGIN WITHIN 14 DAYS AFTER THE COMPLETION OF ANY LAND DISTURBING ACTIVITY, OR IF ACTIVITY IS DISCONTINUED FOR A PERIOD OF 14 DAYS OR LONGER.

(A) DISTURBED AREAS LEFT IDLE TO 30 DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (DS2) DISTURBED AREAS LEFT IDLE FOR 30 DAYS OR MORE WILL BE ESTABLISHED TO PERMANENT VEGETATION (DS3). ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION WITHIN 14 DAYS.

DURING UNSUITABLE GROWING SEASONS, MUCH WILL BE USED AS A TEMPORARY COVER (DS1) ON SLOPES THAT ARE 3:1 OR STEEPER. MULCH MUST BE ANCHORED.



*ALL EXISTING TREES ARE TO REMAIN AND SHALL BE PROTECTED UNLESS OTHERWISE NOTED. TREES TO BE REMOVED WILL BE FLAGGED OR MARKED WITH RED PAINT BY THE LANDSCAPE ARCHITECT PRIOR TO ANY CLEARING ACTIVITIES.

*THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS AND IMPROVEMENTS TO REMAIN TO EQUAL OR BETTER CONDITIONS THAN PRIOR TO COMMENCEMENT OF CONSTRUCTION.

*THE CONTRACTOR SHALL PROVIDE FOR ADEQUATE DRAINAGE OF THE SITE AND ADJOINING PROPERTIES AND ROADS DURING ALL PHASES OF CONSTRUCTION.

*ALL DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH THE CITY OF ATLANTA CONSTRUCTION STANDARDS. ELEVATIONS SHOWN ON DRAINAGE STRUCTURES ARE TO THE TOP OF STRUCTURE. PIPE LENGTHS SHOWN ARE APPROXIMATE DISTANCES FROM CENTER TO CENTER OF STRUCTURES AND SLOPES SHOWN ARE THEORETICAL SLOPES USING THESE LENGTHS.

*TOPSOIL, EQUIPMENT, AND MATERIALS SHALL BE STORED IN AREAS DESIGNATED BY THE OWNER.

*UNLESS OTHERWISE NOTED, CONSTRUCT NEW IMPROVEMENTS TO MATCH EXISTING ELEVATIONS OF EXISTING PAVEMENT, SIDEWALKS, AND FLOORS.

*SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND DETAILS OF THOSE RESPECTIVE AREAS.

*THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SANITARY SEWERS, GAS LINES, ELECTRIC LINES, ETC. AS SHOWN ON THESE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE SURVEYOR, ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES SEVENTY - TWO HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK. QUESTIONS CALL THE UTILITY PROTECTION SERVICE: (404)-491-0044.

LOT COVERAGE:

WALKWAY/DRIVE876 sq.ft.
PORCH50 sq.ft.
HOUSE1568 sq.ft.
DECK378 sq.ft.
TOTAL2872 sq.ft.

2872/8206=35%

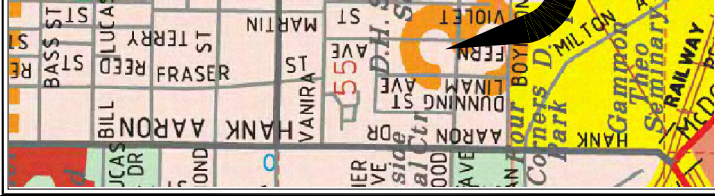
DIRT STATEMENT - CUT/FILL CALCULATIONS

CUT = 15 CY
FILL = 25 CY
NET FILL = 10 CY

Area of Site = 8206 SQFT OR 0.19 Acres

FAR 3136/8206=0.38

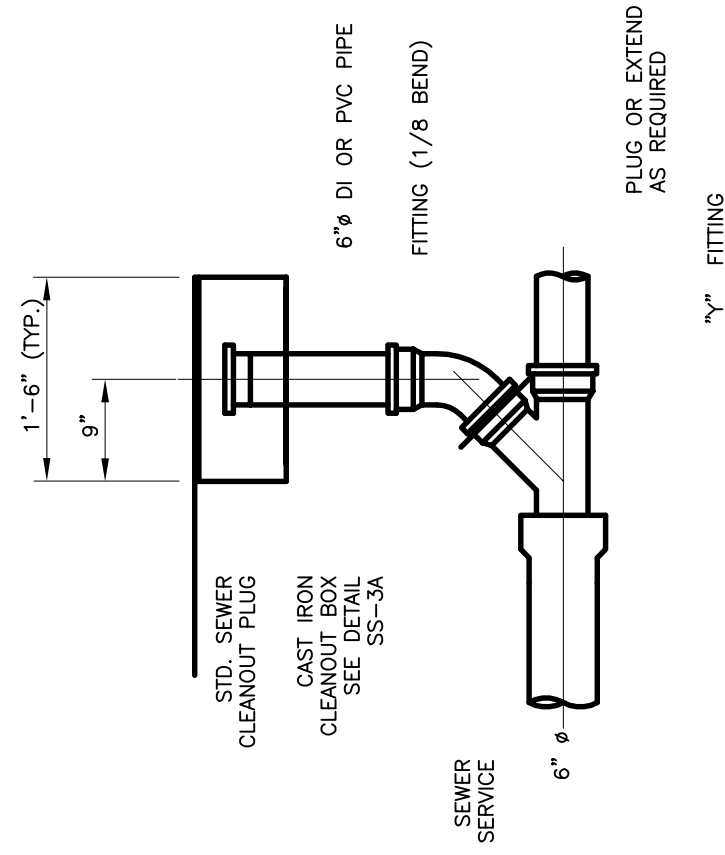
LOT COVERAGE= 2872/8206=35%



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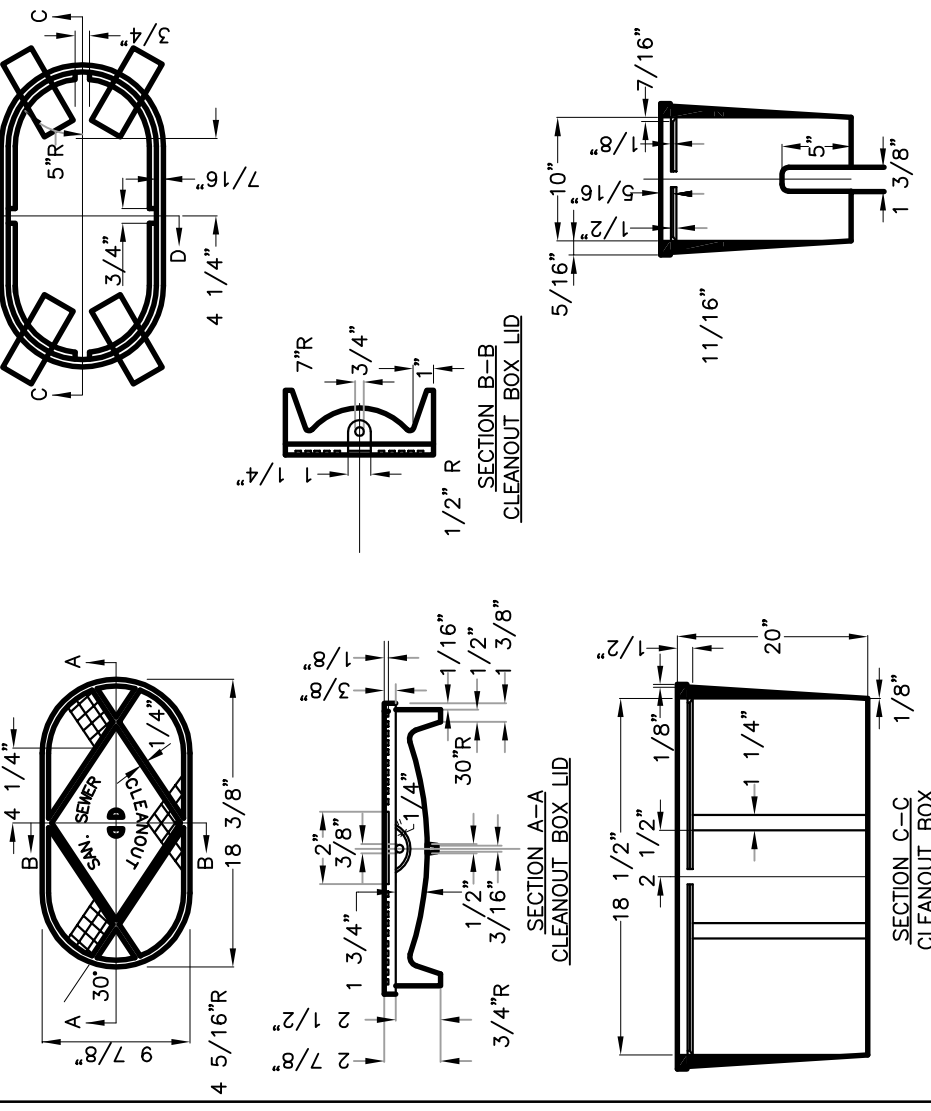
NOTE: TOP OF CLEANOUT BOX SHALL BE FLUSH WITH FINAL SURFACE IN SIDEWALKS AND PAVED AREAS



THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

City of Atlanta 	STANDARD DETAILS	REV. DATE: OCT. 2011
	SERVICE CONNECTION CLEANOUT	ORIG. DATE: NOV. 2004 SCALE: N.T.S.
		DETAIL NO. SS-G-SC004

ALL RIBS EQUALLY SPACED. BEGIN AT CENTER OF LID, STRADDLE C.L. AND LAY OFF 1-21/64" C.C.



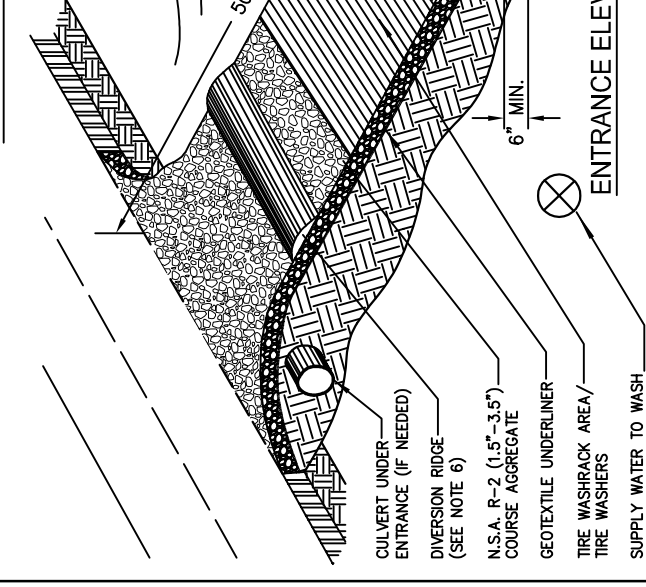
GENERAL NOTES:

- UNLESS NOTED OTHERWISE, CAST IRON SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A48 LATEST REVISION FOR CLASS 20, GREY IRON CASTINGS.
- CASTINGS SHALL BE FREE OF DEFECTS. THEY SHALL BE CLEANED ACCORDING TO GOOD CASTING PRACTICE. BURRS AND ROUNDS SHALL BE REMOVED AND FINISHED TO MATCH THE FINISH OF THE CASTINGS.
- FINISHED CASTINGS SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR PITCH VARNISH AS INDICATED IN A.W.W.A. SPECIFICATIONS C110. LATEST REVISION. COATING MAY BE APPLIED COLD AND SHALL BE SMOOTH, GLOSSY, NOT BRITTLE WHEN COLD, NOT STICKY WHEN EXPOSED TO THE SUN, AND SHALL ADHERE TO THE METAL AT ALL TEMPERATURES.
- WHEN COATING IS COMPLETE, LID SHALL FIT SNUGLY WITHOUT ROCKING.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

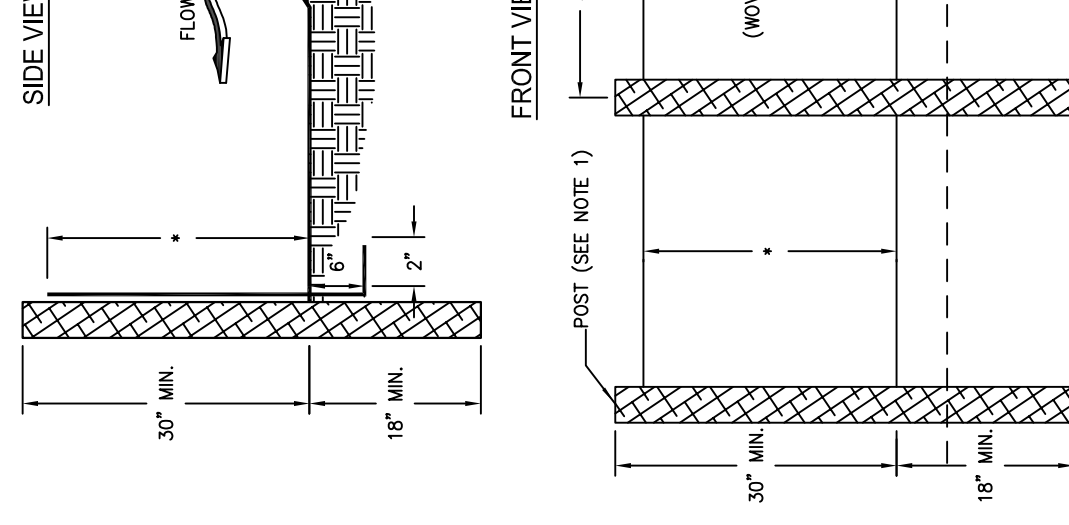
City of Atlanta 	STANDARD DETAILS	REV. DATE: OCT. 2011
	SANITARY CLEANOUT BOX	ORIG. DATE: NOV. 2004 SCALE: N.T.S.
		DETAIL NO. SS-C-SC005

CRUSHED STONE CONCRETE

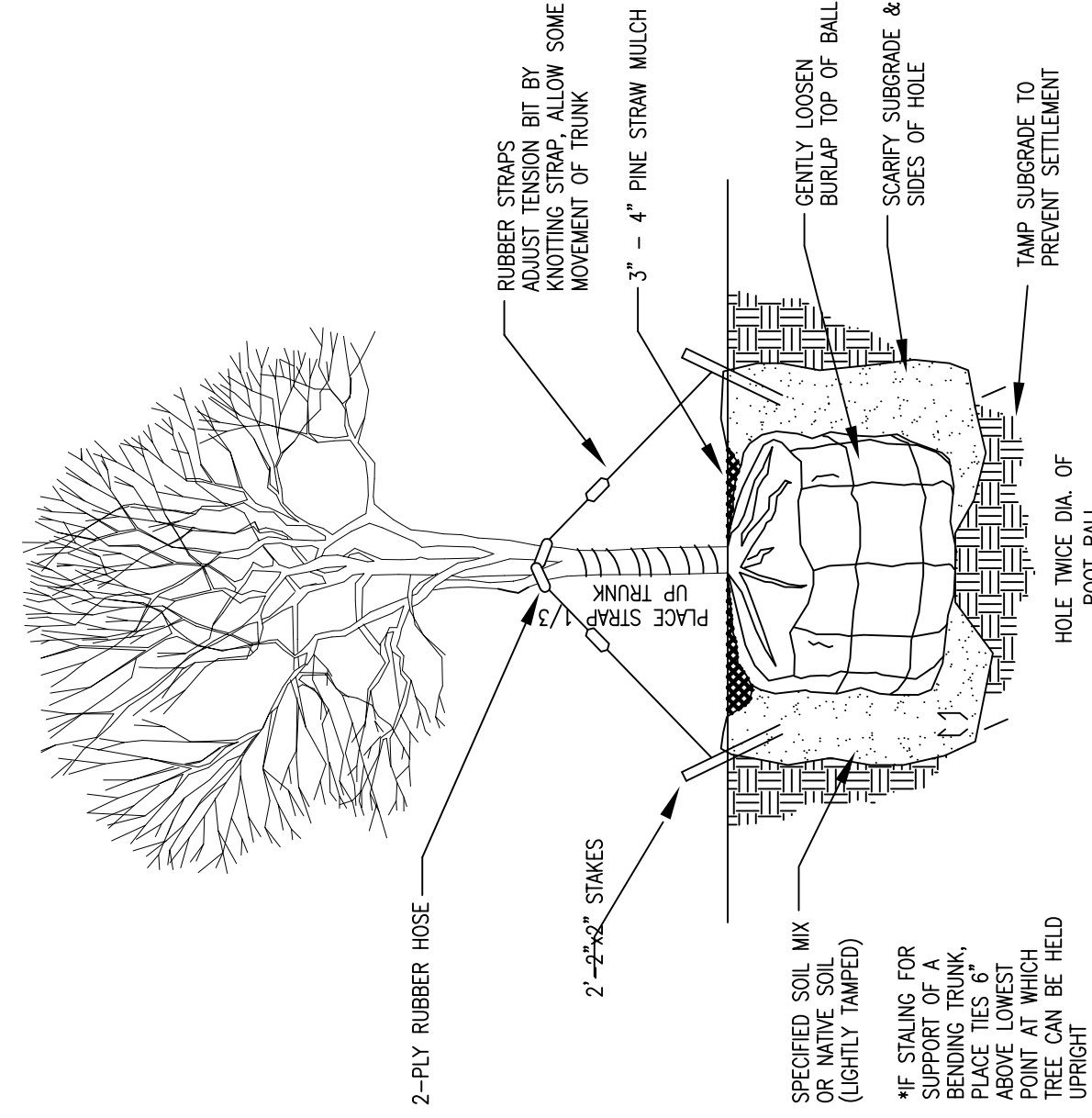


- NOTES:
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES OR AT OTHER UNSUITABLE LOCATIONS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIALS.
 - CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL SPECIFICATIONS FOR CONCRETE AGGREGATE.
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6" AND SHALL BE EQUAL FULL WIDTH AT ALL POINTS.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE UNDER THE ENTRANCE IS TO BE LOWER THAN THE GRADE OF THE ENTRANCE.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA OF THE ENTRANCE THAT IS NOT USED FOR SEEDING OR PLANTING.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA OF THE ENTRANCE THAT IS NOT USED FOR SEEDING OR PLANTING.
 - WASHERS AND/OR TIRE WASHERS MAY BE REQUIRED TO REMOVE MUD AND DIRT.
 - NECESSARY WASHRACK DESIGN MAY CONSIST OF ANY MAINTENANCE AREA IN A WAY THAT PREVENTS TRACKING AND SPREADING OF MUD AND DIRT.
 - RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIRS TO TRAP SEDIMENT.

SILT FENCE - TYP



- NOTES:
- USE STEEL POSTS OR AS SPECIFIED BY THE POLLUTION CONTROL PLAN.
 - HEIGHT (*) IS TO BE SHOWN ON THE EROSION POLLUTION CONTROL PLAN.



TREE INSTALLATION DETAIL

